

SITE AREA-			486.9 m ²
CONTROL TABLE		Required	PROVIDED m ²
SITE COVERAGE:	GROUND FLOOR		174.4
Principal Dwelling			116.4
Granny Flat			60.0
PRIVATE OPEN SPACE:			
EXCLUDES SIDE PASSAGE AREAS LESS THAN 2.0M IN WIDTH INCLUDES A PRINCIPLE 5.0X4.0m AREA		20.0 m ²	38 m ²
LANDSCAPE AREA:	% OF SITE	25.0%	35.73%
EXCLUDES DWELLING, GARAGE, ALFRESCO, PAVED AND SIDE PASSAGES	m ²		
FLOOR SPACE (SQM)		0.5	0.36

Landscaping			
The applicant must plant indigenous or low water use species of vegetation throughout 30 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 85 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Corrifier check
Glazed windows, doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.	✓	✓	✓
• Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Penetration Rating Council (NPRC) conditions.	✓	✓	✓
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✓	✓	✓

BASIX® Certificate
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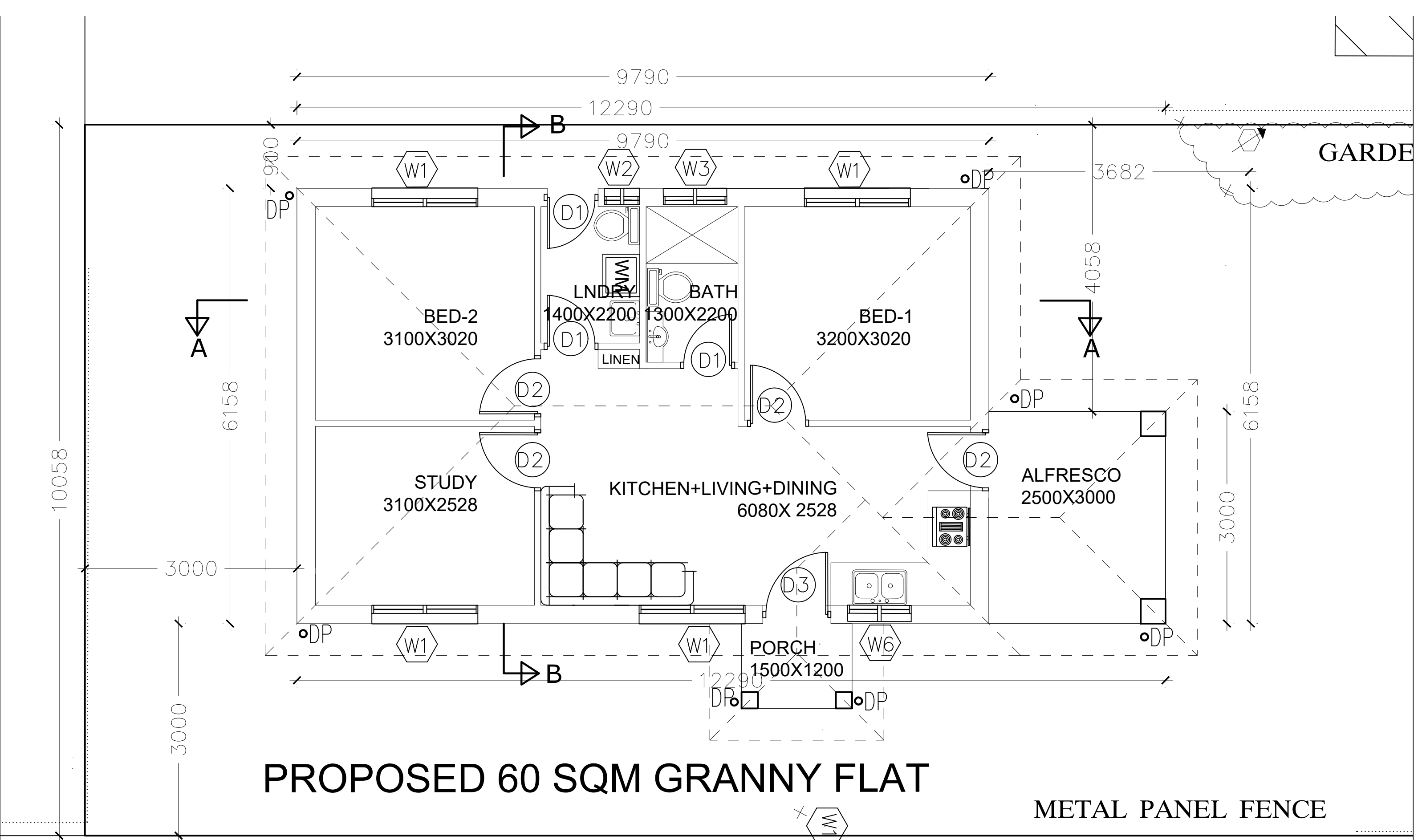
Single Dwelling

Certificate number: 1780291S

Note	• Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.
Note	• If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (6)) of the National Construction Code.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.
Note	• Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.

Construction	Area - m ²	Additional insulation required	Options to address thermal up-draught	Other specifications
floor - concrete slab on ground, waffle pod slab.	50	nil; not specified	nil	
external wall: brick veneer; frame: timber - H2 treated softwood.	4	2.94 (or 3.50 including construction) rockwool batts, roll or pump-in + reflective foil in the cavity	nil	wall colour: Medium (solar absorbance 0.48-0.7)
external wall: brick veneer; frame: timber - H2 treated softwood.	4	2.94 (or 3.50 including construction) rockwool batts, roll or pump-in	nil	wall colour: Medium (solar absorbance 0.48-0.7)

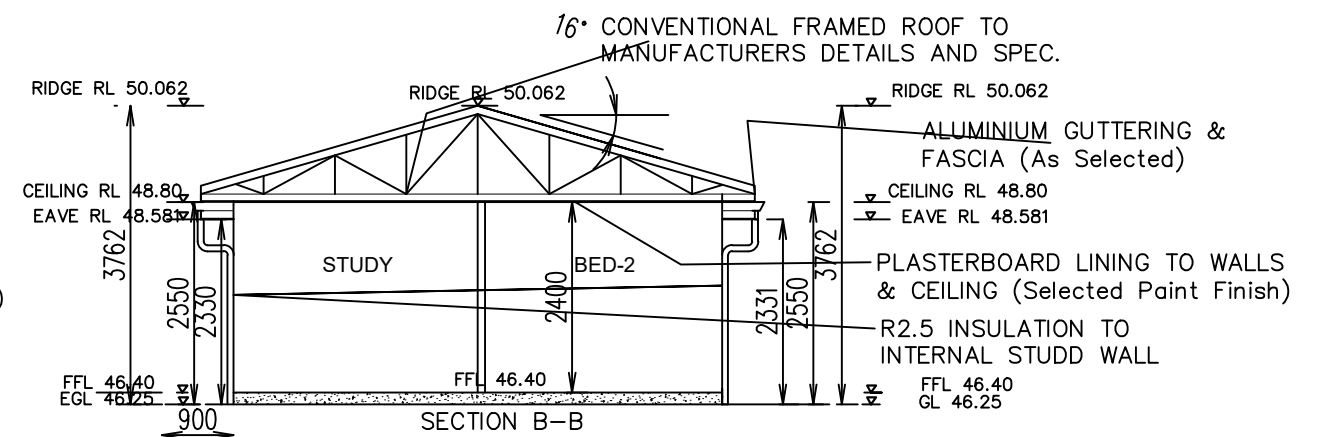
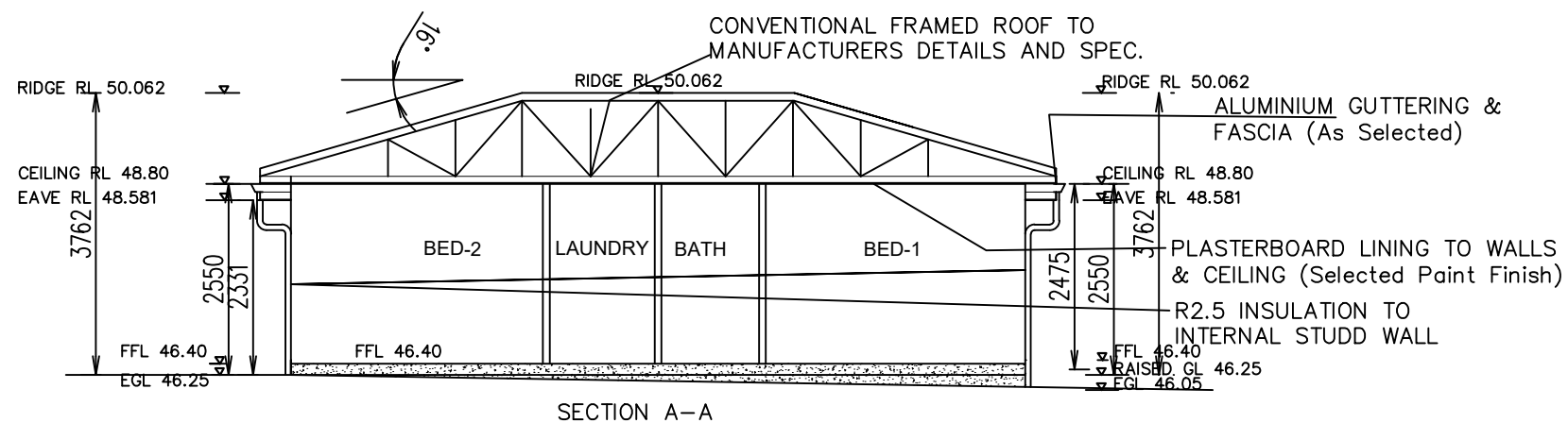
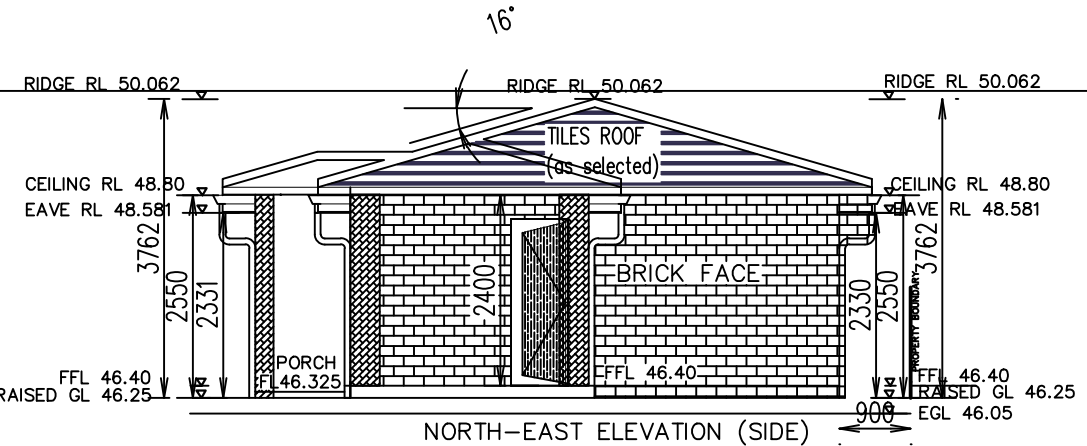
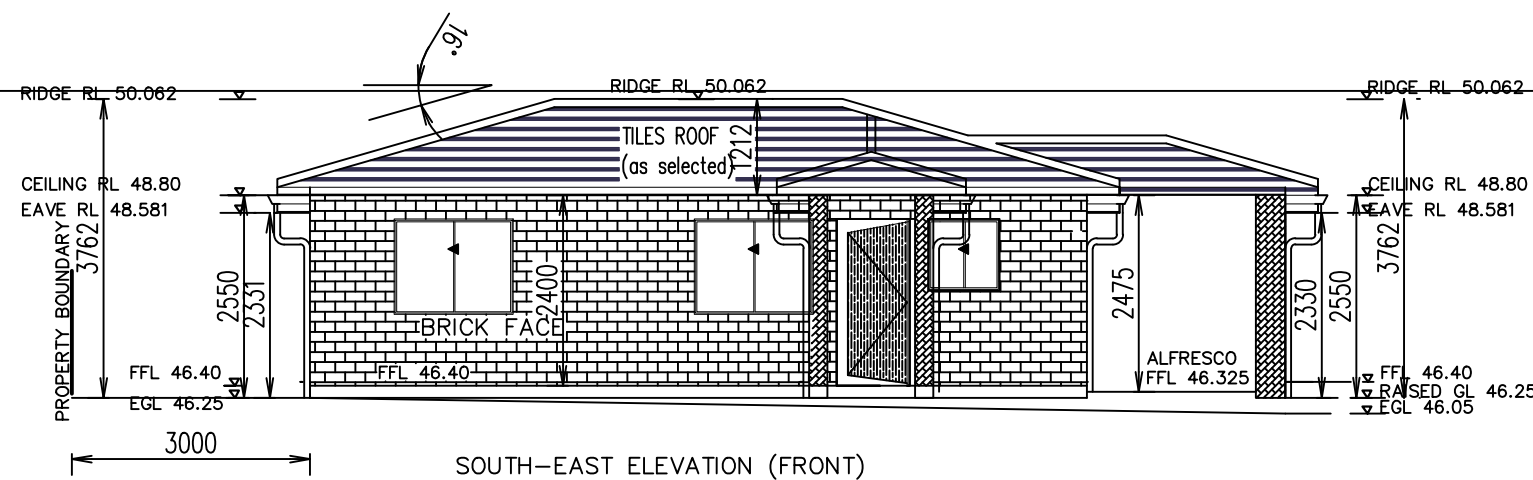
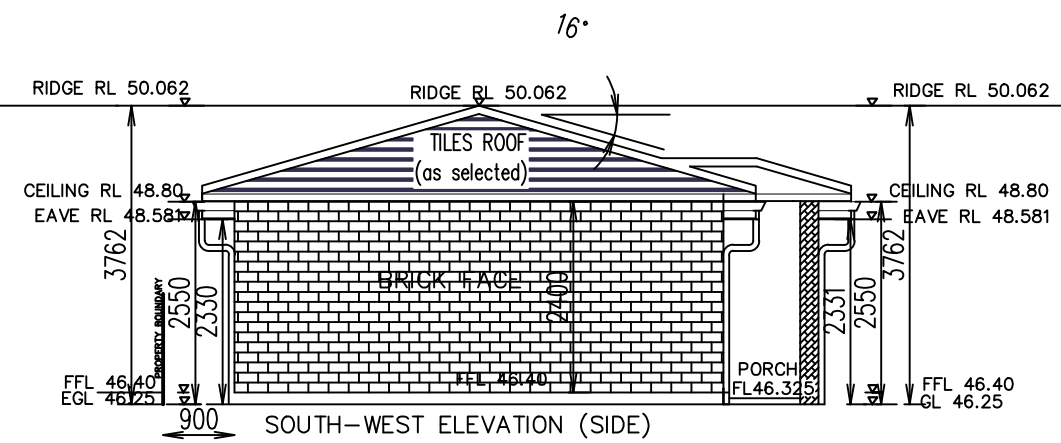
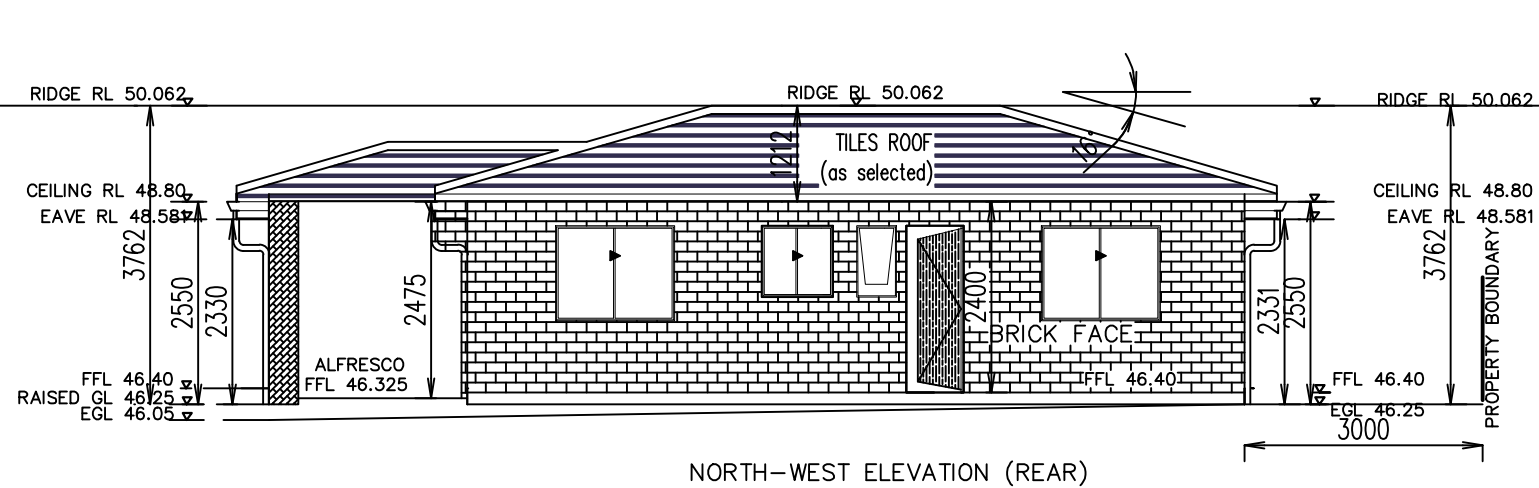
Designed by:	M.Y	ERTA Z H, CHOWDHURY MIEAust., CPEng, NPER, Reg. No. 2214897	Australiawide Consulting Services P/L Civil & Structural Engineering and Project Management 1369 Canterbury Rd, Punchbowl, NSW 2196 T: 97937998 M: 0420710548 Email: ertaz1@hotmail.com		Architect:		Client:	Project North: 	Project: Proposed Secondary Dwellings	Job: 61 Taylor St Lakemba	Date:	
Checked by:	E.C											
					Civil & Structural Engineering and Project Management 1369 CANTERBURY RD, Punchbowl, NSW 2196 T: 97937998 M: 0420710548 Email: ertaz1@hotmail.com		Mr. Shomrat				Scale @A3: 1:200	
											Title: SITE PLAN	Drg No. ACS-SP-01



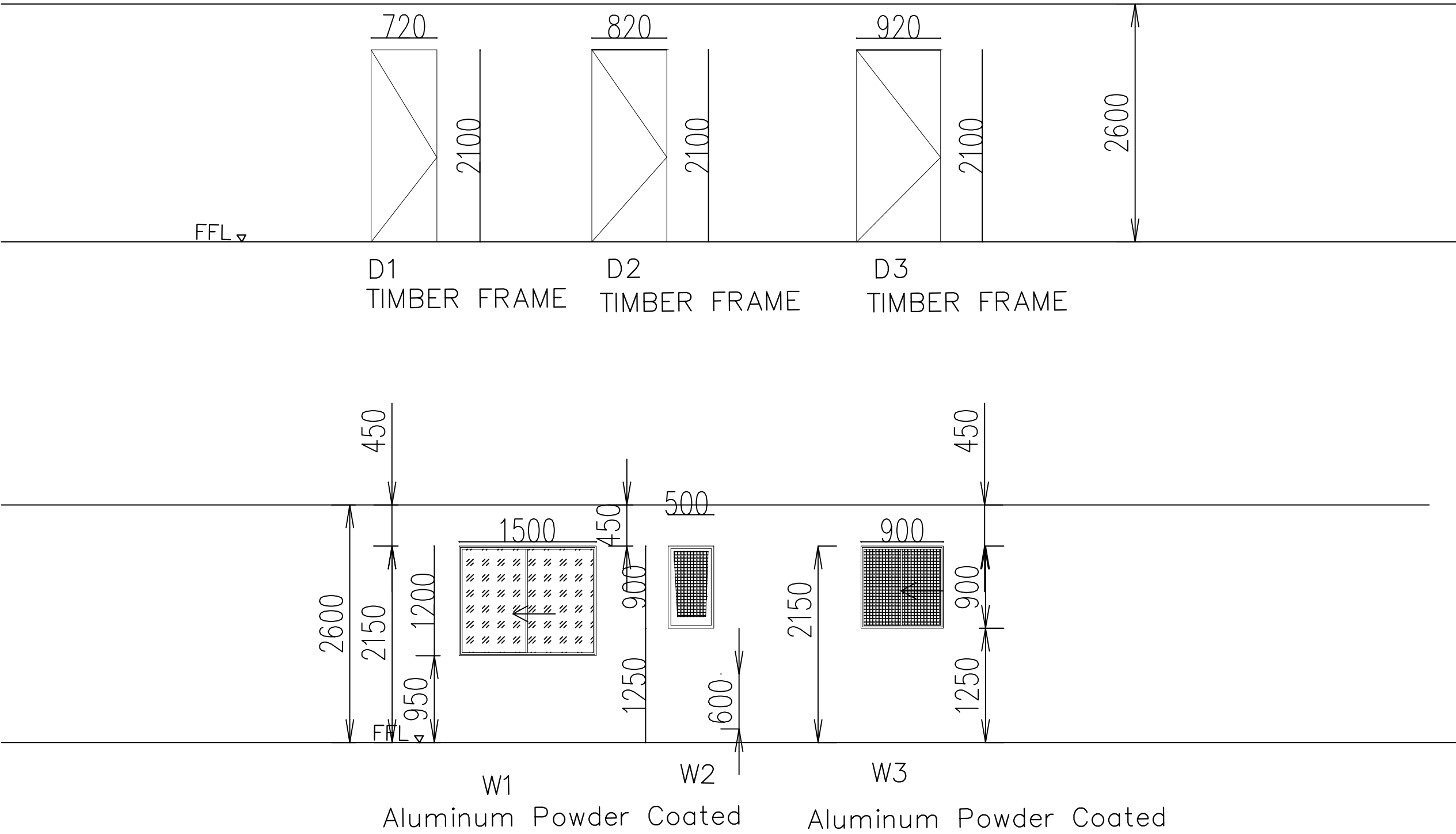
PROPOSED 60 SQM GRANNY FLAT

METAL PANEL FENCE

46.41			46.22			46.06			
Designed by:	M.Y	ERTAZ H, CHOWDHURY MIEAust., CPEng. NPER, Reg. No. 2214897	Australiawide Consulting Services P/L Civil & Structural Engineering and Project Management 1369 Canterbury Rd, Punchbowl, NSW 2196 T: 97937998 M: 0420710548 Email: ertaz1@hotmail.com	Architect: Australiawide Consulting Services P/L Civil & Structural Engineering and Project Management 1369 CANTERBURY RD, Punchbowl, NSW 2196 T: 97937998 M: 0420710548 Email: ertaz1@hotmail.com	Client: Mr. Shomrat	Project North: 	Project: Proposed Secondary Dwellings	Job: 61 Taylor St Lakemba	Date: 13-12-2024
Checked by:	E.C								Scale @A3:1:50
								Title: GROUND FLOOR PLAN	Drg No. ACS-FP-02

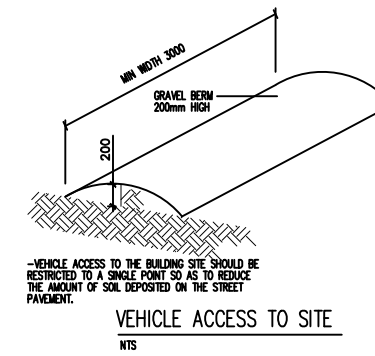


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Checked by:	E.C				Civil & Structural Engineering and Project Management 1369 CANTERBURY RD, Punchbowl, NSW 2196 T: 97937998 M: 0420710548 Email: ertaz1@hotmail.com				Mr. Shomrat



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Checked by:	E.C								Scale @A3: NTS
								Title: DOOR WINDOWS SCHEDULE	Drg No. ACS-DW- 05

14. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.



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Checked by:	E.C									Title: SEDIMENT CONTROL PLAN	Scale @A3: 1:20 Drg No. SW01